
Maynard Fire Headquarters

The Carell Group, Inc.

August 4, 2008

THE PROCESS

- 1. PROGRAM**
WHAT SPACE DOES THE MAYNARD FIRE DEPARTMENT NEED?
- 2. EVALUATE THE EXISTING SITE AND BUILDING.**
CAN THE NEEDS BE MET BY RENOVATING AND EXPANDING THE EXISTING BUILDING?
- 3. LOOK AT THE DESIGN OF A NEW BUILDING ON A NEW SITE**
(ADVANTAGES/DISADVANTAGES)

PROGRAM

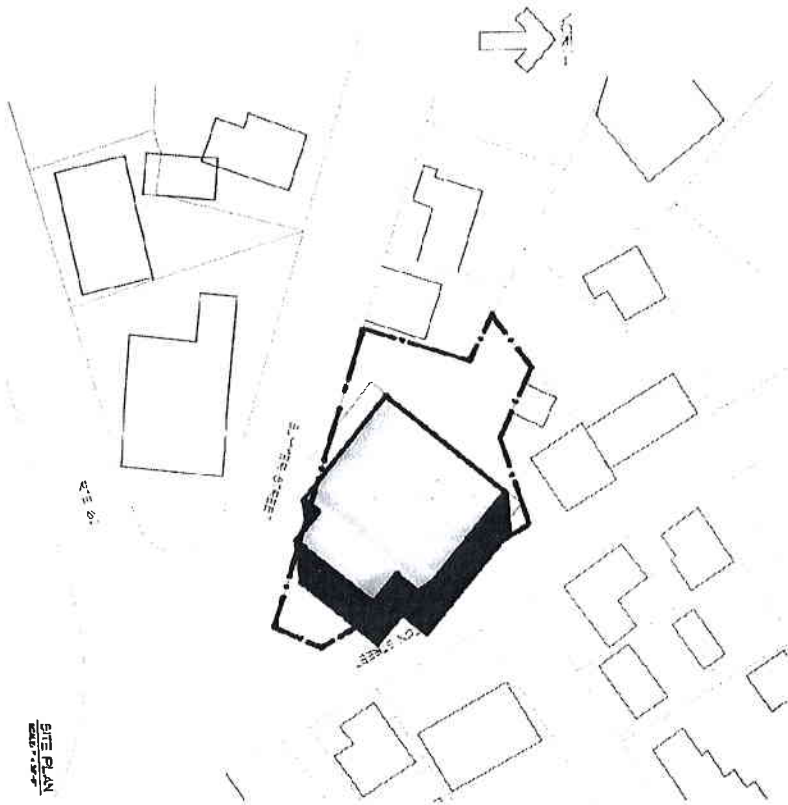
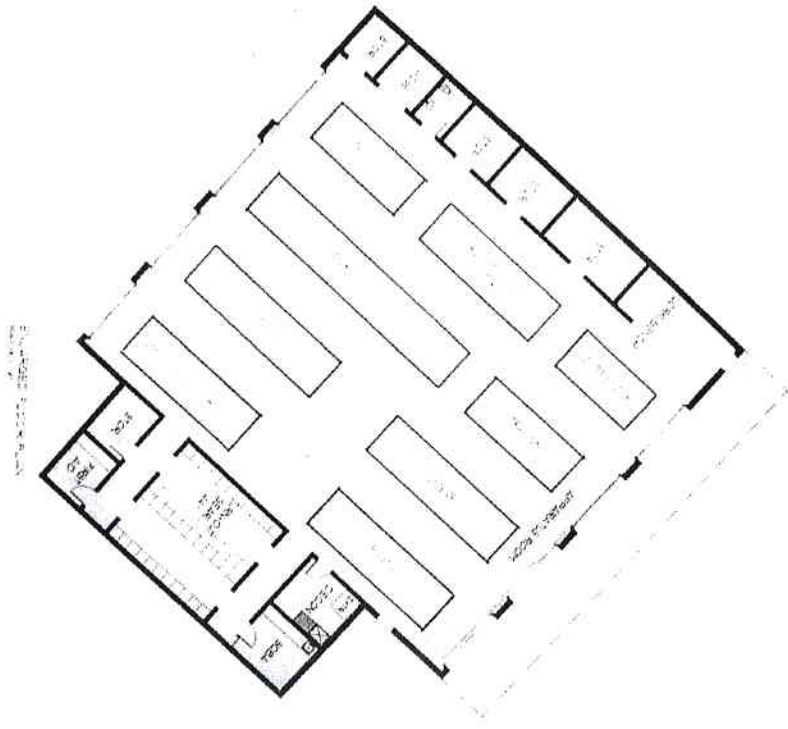
- (4) 85' LONG APPARATUS GARAGE BAYS ARE NEEDED TO HOUSE ALL FIRE DEPARTMENT VEHICLES.
 - APPARATUS SUPPORT FACILITIES
 - DECONTAMINATION
 - FIRST AID
 - TURN-OUT GEAR STORAGE
 - WORK BENCH
 - BREATHABLE AIR EQUIPMENT STORAGE
 - OFFICES FOR DEPARTMENT ADMINISTRATION AND PUBLIC BUSINESS
 - (5) TWO-BED BUNK ROOMS
 - STAFF SUPPORT
 - DAY/ROOM, DINING, KITCHEN, MALE/FEMALE TOILETS, LOCKERS, SHOWERS
 - EMERGENCY OPERATIONS CENTER/TRAINING ROOM
- TOTAL SQUARE FOOTAGE NEEDED: 15,000 SF.

EXISTING BUILDING

- TOO SMALL FOR CURRENT NEEDS.
ALL APPARATUS DOES NOT FIT IN THE GARAGE.
THE LADDER TRUCK WAS CUSTOM MADE TO FIT THROUGH THE
OVER-HEAD DOORS.
NO SPACE FOR APPARATUS SUPPORT FACILITIES.
- ANTIQUATED HVAC, PLUMBING, AND ELECTRICAL SYSTEMS.
- ANTIQUATED TECHNOLOGY/COMMUNICATION SYSTEMS.
- NOT ENOUGH PARKING.
- POOR PHYSICAL CONDITION
- ENERGY INEFFICIENT
- LEAKY ROOF
- DETERIORATED "ENVELOPE"
- DETERIORATED FINISHES

MAYNARD FIRE HEADQUARTERS
Maynard, Massachusetts

EXISTING SITE PLAN
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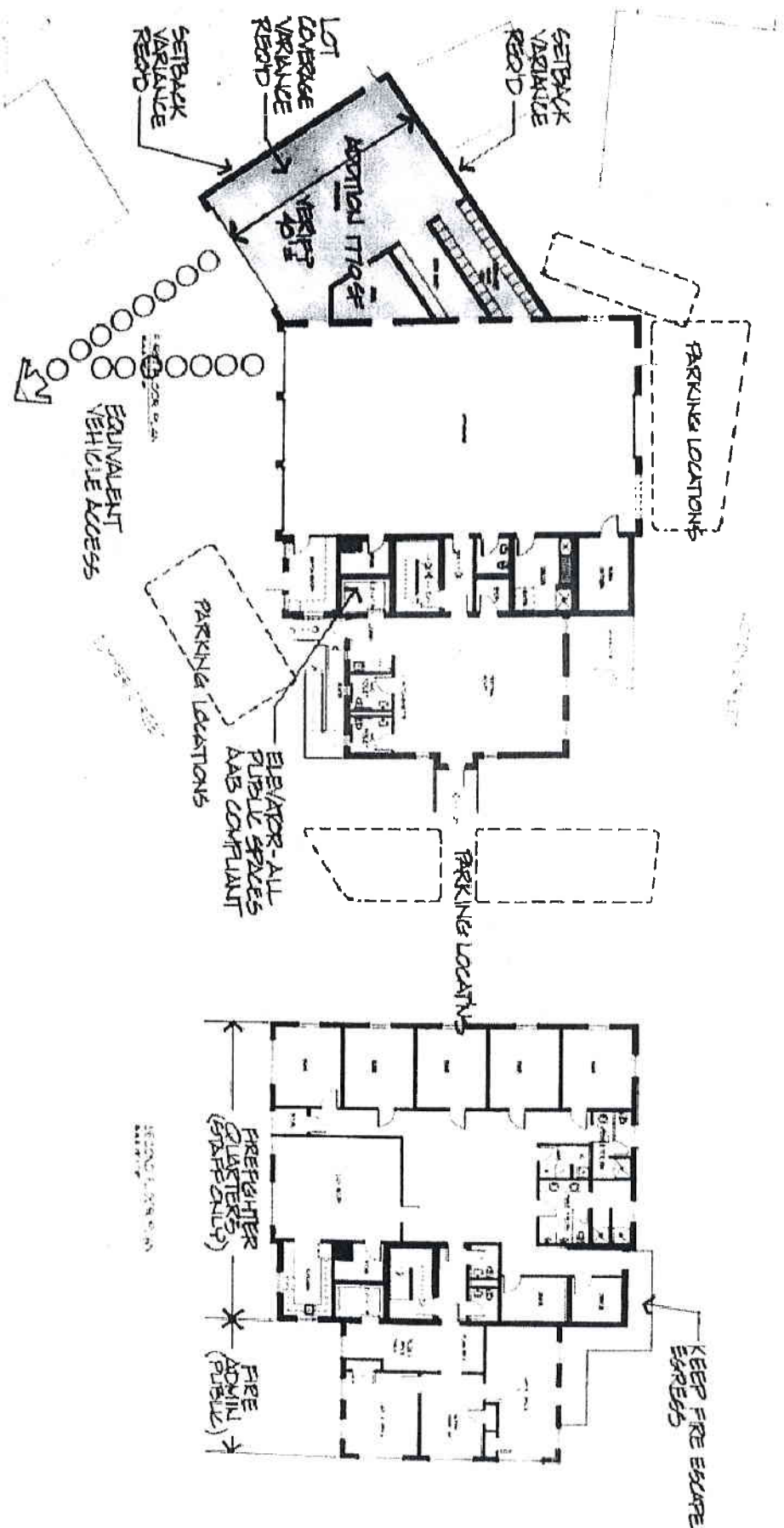
SITE PLAN
DATE: 11/11/00

MAYNARD FIRE HEADQUARTERS

RENOVATION/ADDITION FLOOR PLANS

Maynard, Massachusetts

The Carrell Group, Inc.



RENOVATION/ADDITION STRATEGY

- STILL NO ROOM FOR NEW LADDER TRUCK
- SPACE IS NEEDED FOR 9 VEHICLES, SPACE FOR 7 VEHICLES PROVIDED
- REDUCED PARKING
- DEPARTMENT WILL HAVE TO BE RELOCATED FOR A YEAR DURING CONSTRUCTION
- ENCROACHES VERY CLOSE TO NEIGHBORS' LOT LINES

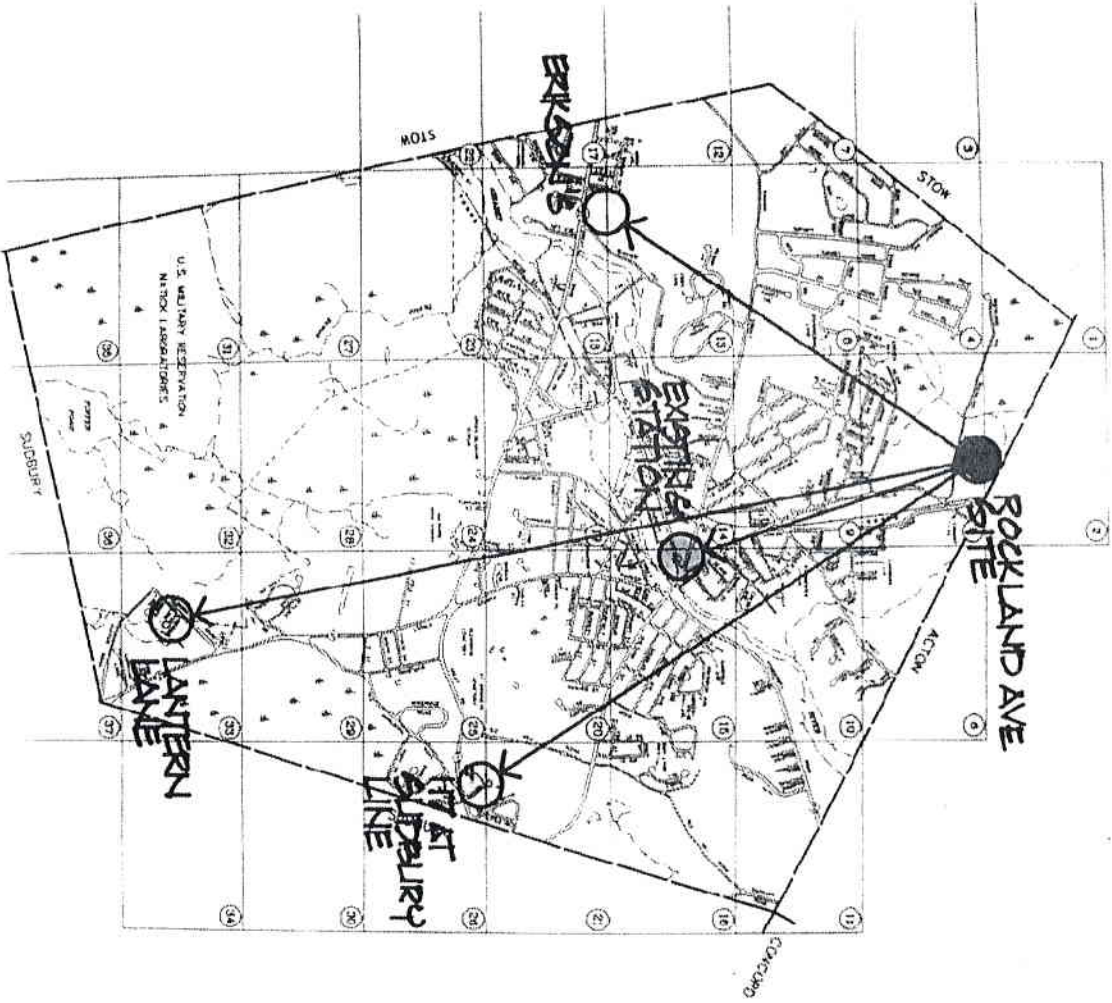
PROJECT COST	\$ 4,750,000
TEMPORARY RELOCATION	<u>\$ 600,000</u>
	\$ 5,350,000

MAYNARD FIRE HEADQUARTERS

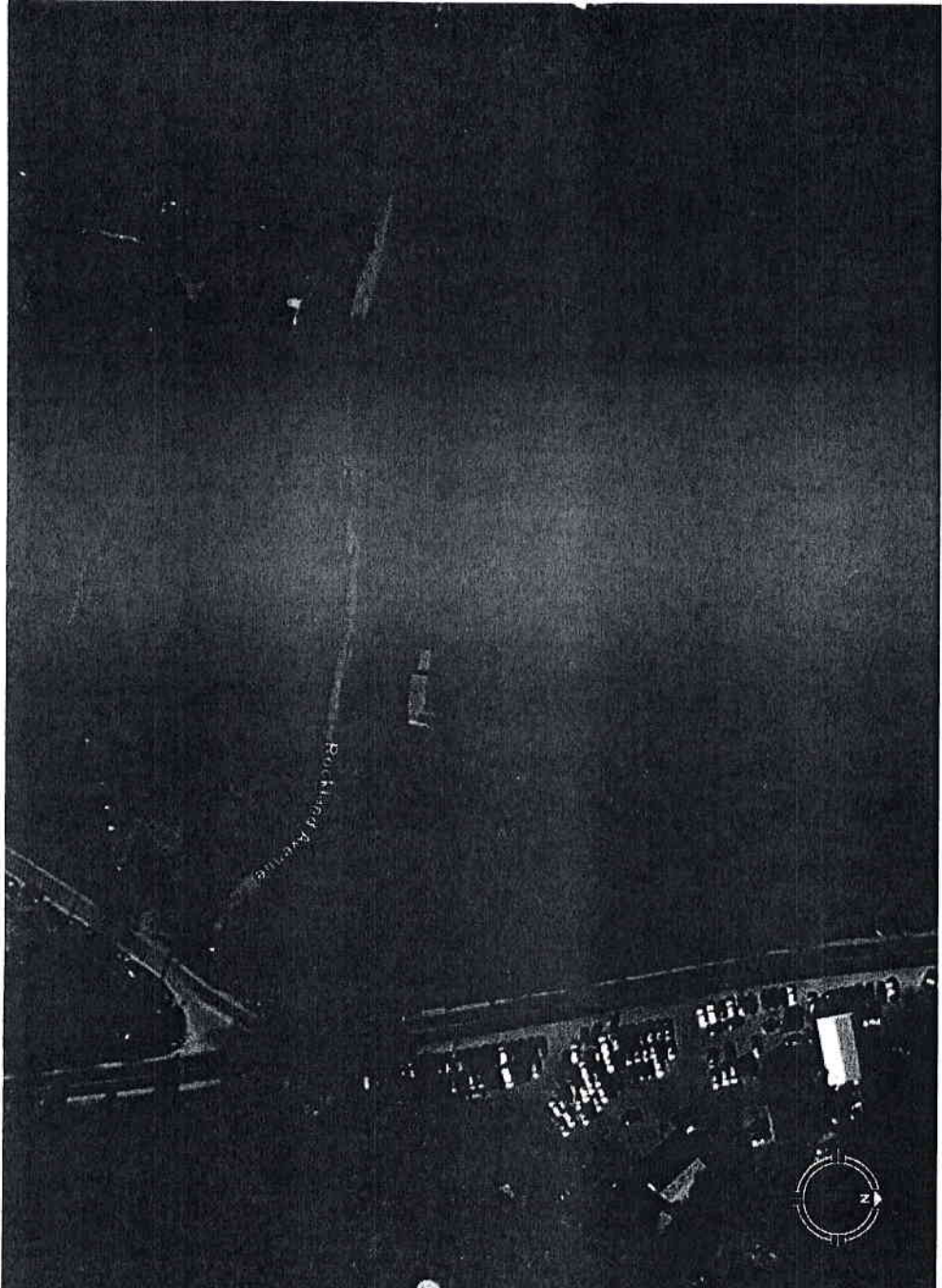
Maynard, Massachusetts

RESPONSE TIME

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MAYNARD FIRE HEADQUARTERS
Maynard, Massachusetts



SITE
The Carell Group, Inc.

NEW BUILDING STRATEGY

- MEETS CURRENT & FUTURE NEEDS
- NO COST FOR TEMPORARY QUARTERS
- NFPA COMPLIANT RESPONSE TIME
- TOWN OWNED LAND
- BUILDABLE SITE

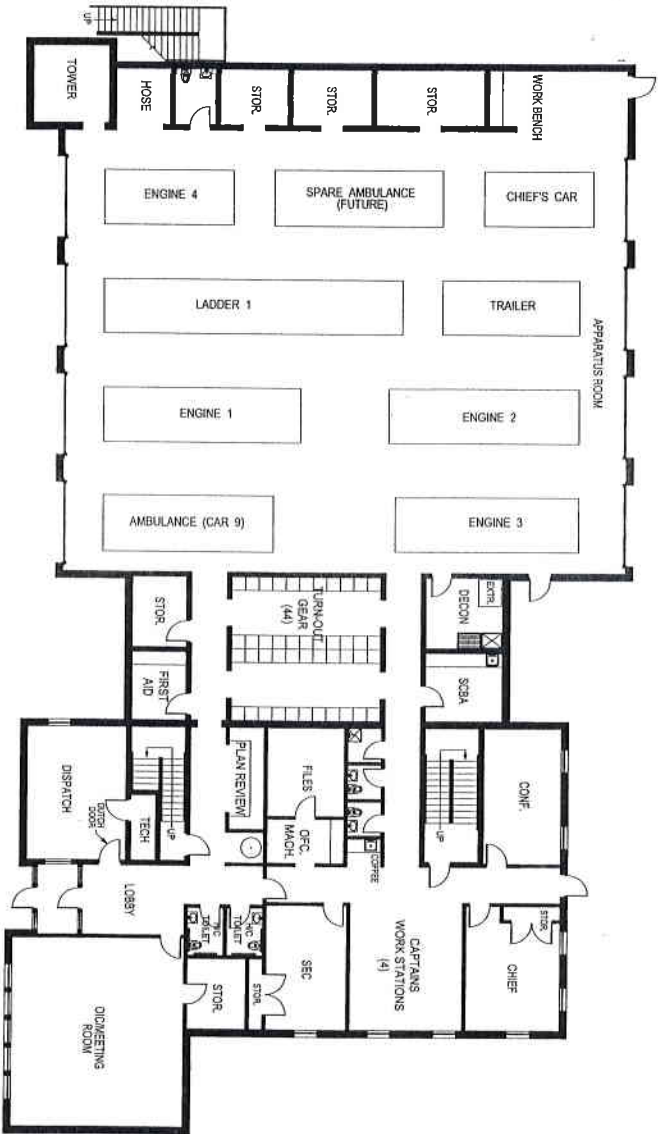
PROJECT COST: \$ 6,480,000

MAYNARD FIRE HEADQUARTERS

MAYNARD, MASSACHUSETTS

FIRST FLOOR PLAN - STUDY A

The Carrell Group, Inc

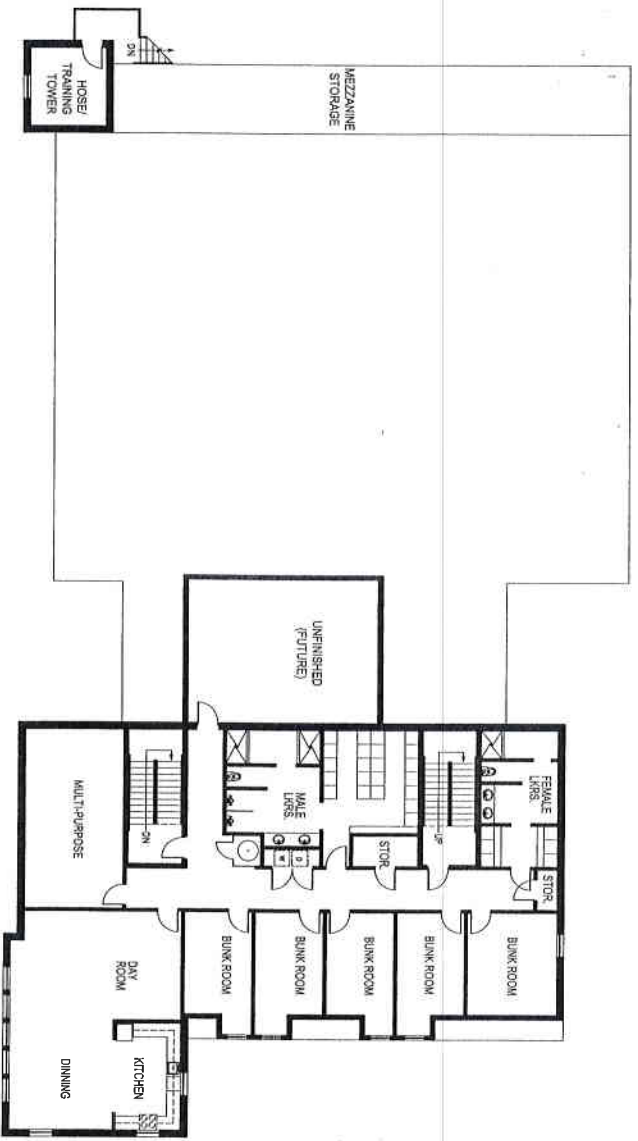


MAYNARD FIRE HEADQUARTERS

MAYNARD, MASSACHUSETTS

SECOND FLOOR PLAN - STUDY A

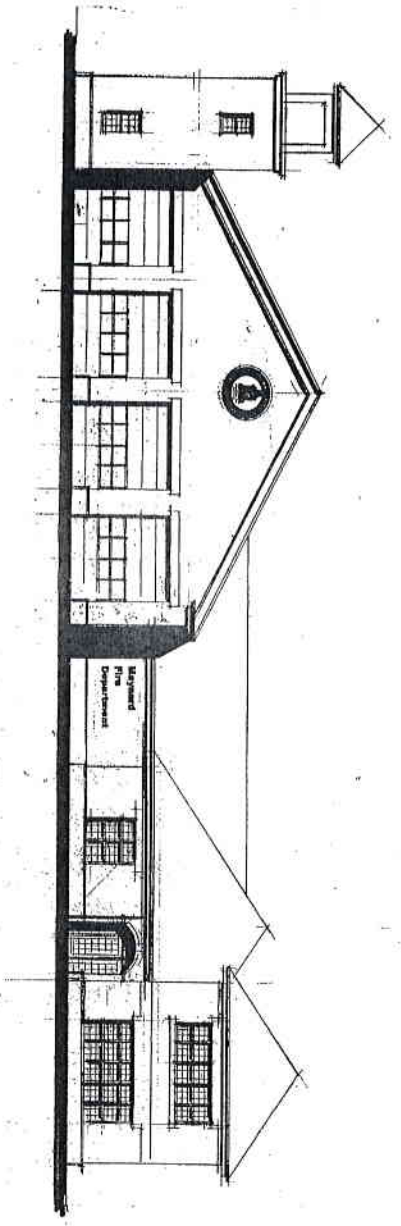
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MAYNARD FIRE HEADQUARTERS

MAYNARD, MASSACHUSETTS

FRONT VIEW
The Carrell Group, Inc



MAYNARD FIRE HEADQUARTERS
Project Budget 3/22/07 Renovation/Addition

CONSTRUCTION

Construction Estimate		\$ 3,243,600
Spring 09 Start, 6% escalation	6%	\$ 194,616
Subtotal		\$ 3,438,216
Construction Contingency (10%)	10%	\$ 343,822
TOTAL CONSTRUCTION		\$ 3,782,038

Temporary Relocation		\$ 600,000
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CONSTRUCTION RELATED COSTS

Document Printing		\$ 10,000
Owners Project Manager (OPM)		\$ 150,000
Legal Fees		\$ 5,000
Bond costs to Town		\$ 20,000
Utility back charges		\$ 10,000
Builders Risk Insurance		\$ 4,000
Soils/Concrete Testing		\$ 8,000
TOTAL CONSTRUCTION RELATED COSTS		\$ 207,000

FURNISHINGS & EQUIPMENT

Furniture		\$ 50,000
Window Treatment		\$ 5,000
Industrial Washer/Extractor		\$ 9,000
Dehydrator for Turnout Gear		\$ 9,000
Telephone System		\$ 25,000
Radio/Communication		\$ 250,000
Computer System		\$ 25,000
Vehicle exhaust evacuation system (New bay only)		\$ 30,000
Cable TV		\$ 6,000
TV's, VCR's, OH Projectors		\$ 5,000
Misc building supplies (Floor buffer, wastebaskets, etc.)		\$ 5,000
Fitness equipment		\$ -
SCBA compressor		\$ -
Technology Cabling		\$ 20,000
Soft Cost Total		\$ 439,000
Soft Cost Contingency 5%		\$ 21,950
TOTAL FURNISHINGS & EQUIPMENT		\$ 460,950

ARCHITECT & ENGINEERING

Fees		\$ 250,000
Expenses		\$ 10,000
Town Engineering (Survey, Borings, 21E)		\$ 20,000
Contingency		\$ 20,000
TOTAL ARCHITECT & ENGINEERING		\$ 300,000

TOTAL PROJECT		\$ 5,349,988
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MAYNARD FIRE HEADQUARTERS
Project Budget 7/28/08

CONSTRUCTION

Construction Estimate	14815	\$ 300.00 per sf	\$ 4,444,500
Spring 09 Start, Escalation	6%		\$ 266,670
Subtotal			\$ 4,711,170
Construction Contingency	10%		\$ 471,117
TOTAL CONSTRUCTION			\$ 5,182,287

SITE ACQUISITION

\$ -

CONSTRUCTION RELATED COSTS

Document Printing		\$ 10,000
Owners Project Manager (OPM)		\$ 150,000
Legal Fees		\$ 5,000
Bond costs to Town		\$ 50,000
Utility back charges		\$ 10,000
Builders Risk Insurance		\$ 6,000
Soils/Concrete Testing		\$ 8,000
TOTAL CONSTRUCTION RELATED COSTS		\$ 239,000

FURNISHINGS & EQUIPMENT

Furniture		\$ 80,000
Window Treatment		\$ 5,000
Industrial Washer/Extractor		\$ 9,000
Dehydrator for Turnout Gear		\$ 9,000
Telephone System		\$ 25,000
Radio/Communication		\$ 200,000 250,000
Computer System		\$ 25,000
Vehicle exhaust evacuation system		\$ 60,000
Cable TV		\$ 6,000
TV's, VCR's, OH Projectors		\$ 5,000
Misc building supplies (Floor buffer, wastebaskets, etc.)		\$ 5,000
Fitness equipment		\$ -
SCBA compressor		\$ -
Technology Cabling		\$ 20,000
Soft Cost Total		\$ 449,000
Soft Cost Contingency 5%		\$ 22,450
TOTAL FURNISHINGS & EQUIPMENT		\$ 471,450

ARCHITECT & ENGINEERING

Fees Allow	10% of construction	\$ 518,229
Design Contingency	5%	\$ 25,911
Expenses		\$ 10,000
Town Engineering (Survey, Borings, 21E)		\$ 20,000
Contingency		\$ 20,000
TOTAL ARCHITECT & ENGINEERING		\$ 594,140

TOTAL PROJECT

\$ 6,486,877
+ 50,000
6,536,877